

PUBLIC NOTICE



**US Army Corps
of Engineers
Kansas City District**

**Permit No. NWK-2016-272
Issue Date: May 3, 2016
Expiration Date: May 24, 2016**

21-Day Notice

This public notice is issued jointly with the Missouri Department of Natural Resources, Water Pollution Control Program. The Department of Natural Resources will use the comments to this notice in deciding whether to grant Section 401 water quality certification. Commenters are requested to furnish a copy of their comments to the Missouri Department of Natural Resources, P.O. Box 176, Jefferson City, Missouri 65102.

APPLICANT: Savannah West Development, LLC
411 Nichols Road
Kansas City, Missouri 64112

PROJECT LOCATION (As shown on the attached drawings): Within an approximate 28-acre project site containing an unnamed tributary to Shoal Creek in Section 6, Township 51 north, Range 32 west, in Clay County, Missouri. The street address is 8899 North Prospect Avenue, Kansas City, Missouri 64156.

[USGS QUAD Nashua, Missouri]
[Coordinates 39.25528, -94.54671]

AUTHORITY: Section 404 of the Clean Water Act (33 USC 1344)

ACTIVITY (As shown on the attached drawings):

Completed Work: The applicant has already completed fill activities within approximately 750 linear feet of a jurisdictional intermittent stream channel on the property for the purpose of general site grading and the construction of a stormwater detention basin. Construction of the detention basin and outlet works are approximately 95% complete. The detention basin structure includes an earthen embankment fill and a concrete outfall structure that will release water to the downstream tributary via a 36-inch low flow culvert at existing grade for full release of temporary storm flows from the basin (dry detention). Higher volume flows will enter a 12 foot square opening in the top of the upstream end of a 12 x 6 foot reinforced box culvert (RCB) placed through the detention basin embankment. An existing sewerline crossing of the tributary has also been relocated to accommodate development of the site.

Clearing and grubbing activities began within the parcel in July of 2015 and site grading began in August of 2015. Earthwork for construction of the stormwater basin began in October of 2015 and the sewer line was relocated between September and December of 2015.

Proposed Work: Removal of a temporary road embankment downstream of the constructed detention basin. This road is currently being used for equipment and materials access for completion of the stormwater basin, grading and erosion control activities located on the east side of the stream channel. As part of the development, a hiking trail will be built along the eastern boundary of the site. One stream crossing located in the northeast corner of the project area will be required. This crossing will involve the placement of three, 36-inch plastic culverts with a concrete sidewalk on top of them and the placement of 24 inch or smaller riprap in the channel a distance of 10 feet upstream and downstream of the culverts for scour and erosion control.

WETLANDS/AQUATIC HABITAT: Approximately 750 linear feet of stream channel have been impacted on the project site. The only remaining jurisdictional water on the site includes approximately 1,250 linear feet of the same stream.

APPLICANT'S STATEMENT OF AVOIDANCE, MINIMIZATION, AND COMPENSATORY MITIGATION FOR UNAVOIDABLE IMPACTS TO AQUATIC RESOURCES: Engineers and planners prepared the site design to limit impacts of the apartment development on the adjacent unnamed tributary and associated floodplain. The general design considerations were to utilize the western upland portions of the site for residential development while avoiding the tributary system. The design of the detention basin was limited to the minimum required size and configuration possible within the limits of the existing site topography, stream location and orientation while preserving the majority of the open stream channel present on the site. Mitigation through an approved mitigation provider is proposed for unavoidable impacts to jurisdictional waters.

ADDITIONAL INFORMATION: Additional information about this application may be obtained by contacting Brian Donahue, U.S. Army Corps of Engineers, Kansas City District, 601 East 12th Street, Kansas City, Missouri 64106; telephone: (816) 389-3703. All comments to this public notice should be directed to the above address. You may also submit comments by email to: brian.t.donahue@usace.army.mil

CULTURAL RESOURCES: Kansas City District will comply with the National Historic Preservation Act of 1966 and 36 CFR 800. We have checked the National Register of Historic Places and the Federal Register and no property listed in the Register or proposed for listing is located in the permit area. This is the extent of our knowledge about historic properties in the permit area at this time. However, we will evaluate input by the State Historic Preservation Officer, Tribal Historic Preservation Officers (or Tribe designated representative) and the public in response to this public notice, and we may conduct or require a reconnaissance survey of the permit area to check for unknown historic properties, if warranted.

ENDANGERED SPECIES: In compliance with the Endangered Species Act, a preliminary determination has been made that the described work will not affect species designated as threatened or endangered or adversely affect critical habitat. In order to complete our evaluation of this activity, comments are solicited from the U.S. Fish and Wildlife Service and other interested agencies and individuals.

FLOODPLAINS: This activity is being reviewed in accordance with Executive Order 11988, Floodplain Management, which discourages direct or indirect support of floodplain development whenever there is a practicable alternative. By this public notice, comments are requested from individuals and agencies that believe the described work will adversely impact the floodplain.

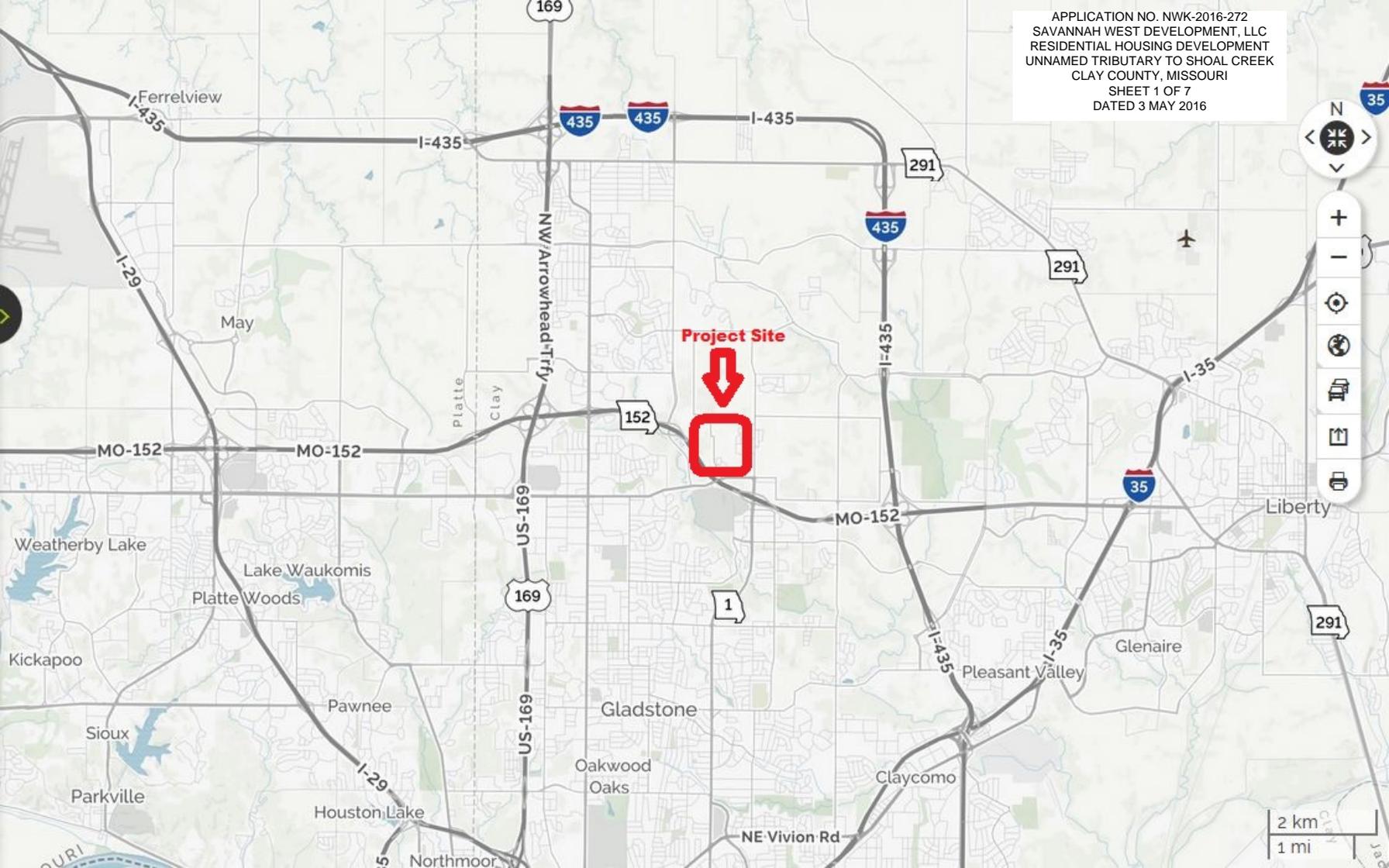
WATER QUALITY CERTIFICATION: Section 401 of the Clean Water Act (33 USC 1341) requires that all discharges of dredged or fill material must be certified by the appropriate state agency as complying with applicable effluent limitations and water quality standards. This public notice serves as an application to the state in which the discharge site is located for certification of the discharge. The discharge must be certified before a Department of the Army permit can be issued. Certification, if issued, expresses the state's opinion that the discharge will not violate applicable water quality standards.

PUBLIC INTEREST REVIEW: The decision to issue a permit will be based on an evaluation of the probable impact including the cumulative impacts of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefits which reasonably may be expected to accrue from the proposal must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the proposal will be considered including the cumulative effects thereof; among those are conservation, economics, esthetics, general environmental concerns, wetlands, cultural values, fish and wildlife values, flood hazards, floodplain values, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food and fiber production, mineral needs and, in general, the needs and welfare of the people. The evaluation of the impact of the activity on the public interest will include application of the guidelines promulgated by the Administrator, Environmental Protection Agency under authority of Section 404(b) of the Clean Water Act (33 USC 1344). The Corps of Engineers is soliciting comments from the public; Federal, state, and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the Corps of Engineers to determine whether to issue, modify, condition or deny a permit for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are used in preparation of an Environmental Assessment and/or an Environmental Impact Statement pursuant to the National Environmental Policy Act. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

COMMENTS: This notice is provided to outline details of the above-described activity so this District may consider all pertinent comments prior to determining if issuance of a permit would be in the public interest. Any interested party is invited to submit to this office written facts or objections relative to the activity on or before the public notice expiration date. Comments both favorable and unfavorable will be accepted and made a part of the record and will receive full consideration in determining whether it would be in the public interest to issue the Department of the Army permit. Copies of all comments, including names and addresses of commenters, may be provided to the applicant. Comments should be mailed to the address shown on page 2 of this public notice.

PUBLIC HEARING: Any person may request, in writing, prior to the expiration date of this public notice, that a public hearing be held to consider this application. Such requests shall state, with particularity, the reasons for holding a public hearing.

APPLICATION NO. NWK-2016-272
SAVANNAH WEST DEVELOPMENT, LLC
RESIDENTIAL HOUSING DEVELOPMENT
UNNAMED TRIBUTARY TO SHOAL CREEK
CLAY COUNTY, MISSOURI
SHEET 1 OF 7
DATED 3 MAY 2016





PROJECT SITE



39.25498, -94.54557

152

1



1000 ft

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UNNAMED TRIBUTARY TO SHOAL CREEK
CLAY COUNTY, MISSOURI
SHEET 2 OF 7
DATED 3 MAY 2016

Approximate site boundary



NE 90th St

NE 89th Terrace

N Kansas Ct

N Bellefontaine Ave

NE 90th Terrace

NE 89th St

N Agnes Ave

NE 88th Terrace

N Montgall Ave
N Prospect Ave

N Chestnut Ave

Kansas Ave

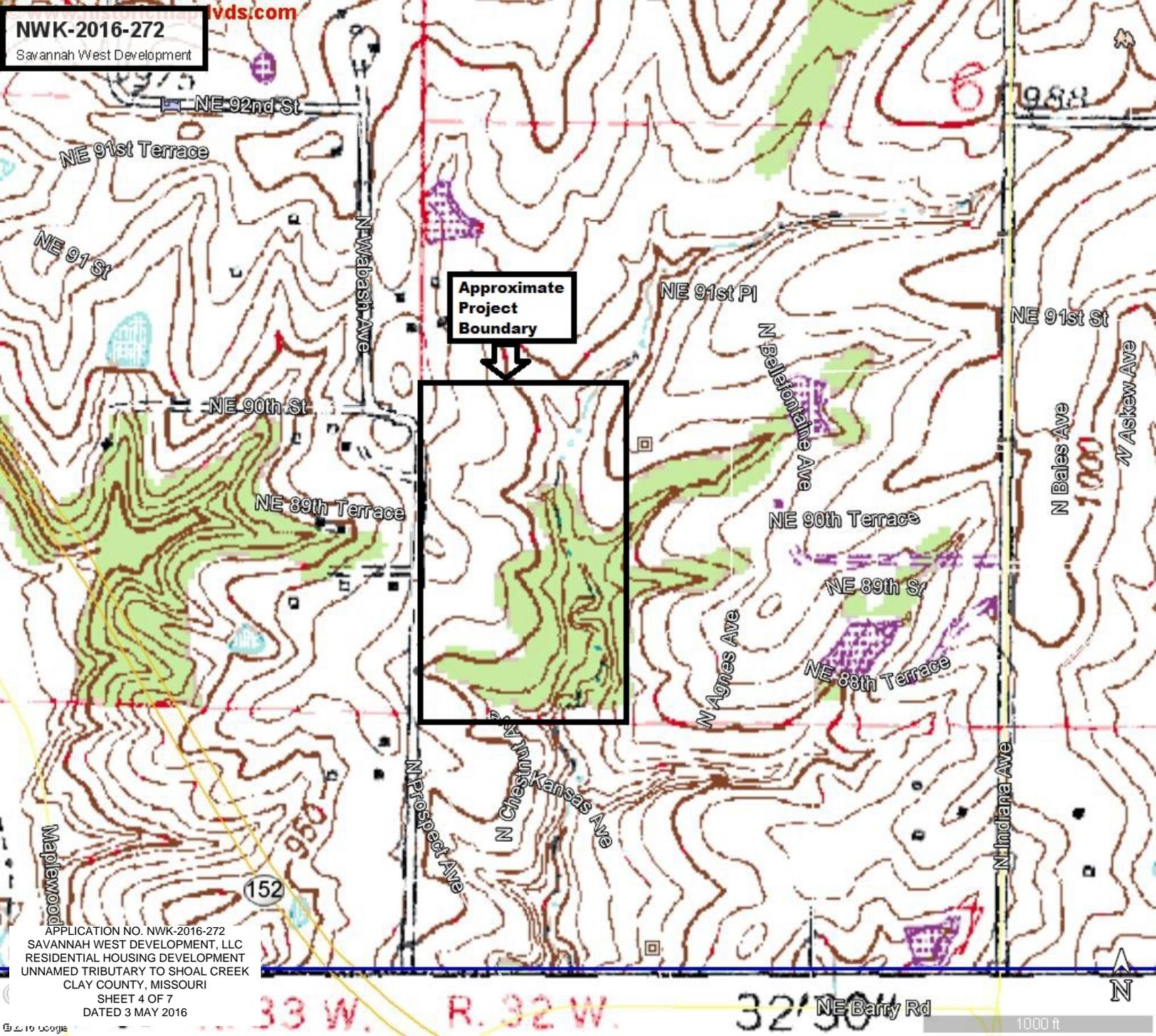
152



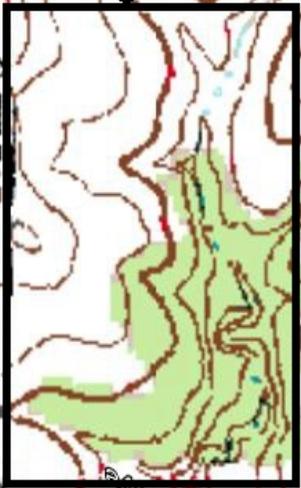
800 ft

NWK-2016-272
Savannah West Development

lvds.com



**Approximate
Project
Boundary**

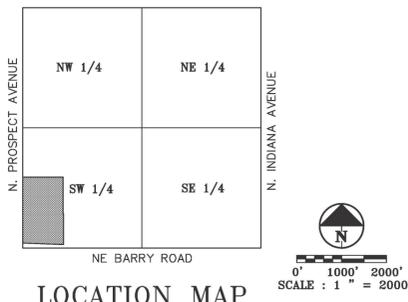
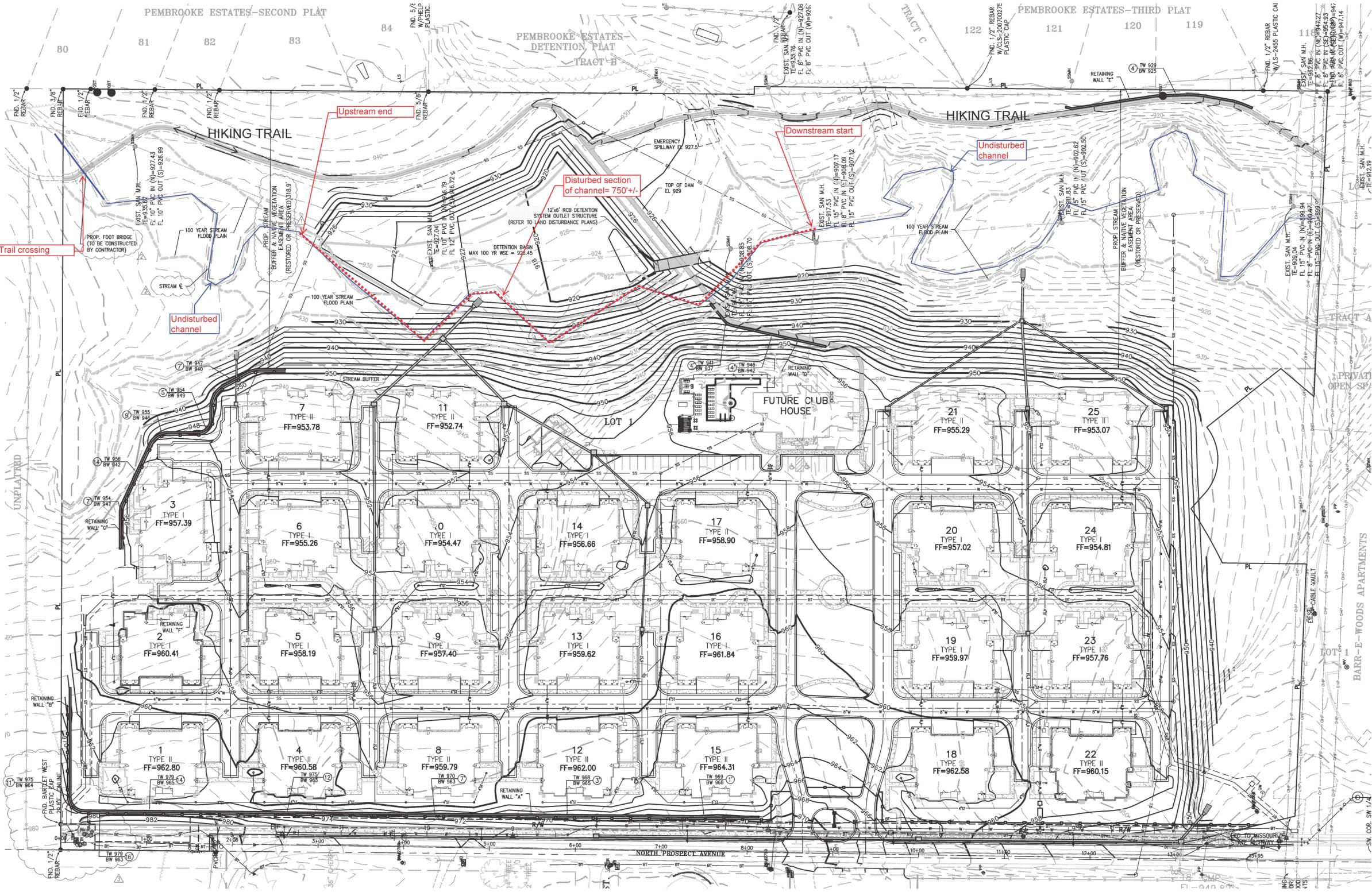


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SHEET 4 OF 7
DATED 3 MAY 2016

33 W. R. 32 W. 32' 30" NE Barry Rd

1000 ft





LOCATION MAP
SECTION 6-51-32

PROPOSED LEGEND

XXX	PROPOSED CONTOURS
XXX	PROPOSED CURB
R/W	RIGHT OF WAY
PL	PROPERTY LINE

- NOTE:
- EXISTING CONTOURS SHOWN ARE FROM A TOPOGRAPHIC SURVEY AND WAS PERFORMED ON BY PEI IN 2014.
 - EXISTING VEGETATION ON SITE TO BE REMOVED.

EARTHWORK NOTES:

CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted, proposed contours and elevations shown represent approximate finish grade.

CLEARING AND GRUBBING: Prior to the start of grading and earthwork, the areas to be graded shall be stripped of all vegetation, organic matter and topsoil to a minimum depth of twelve inches (12") or as otherwise directed by the Geotechnical Engineer. Stripping materials shall not be incorporated into structural fills.

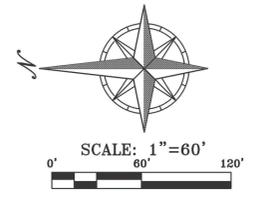
TOPSOIL: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded and stockpile at a location on or adjacent to the site as directed by the owner. After completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping.

SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.

PROOFROLLING: Prior to the placement of structural fill material, the existing subgrade shall be proofrolled under the direction of the Geotechnical Engineer. Unsuitable areas identified by the proofrolling areas shall be undercut and replaced with controlled structural fill.

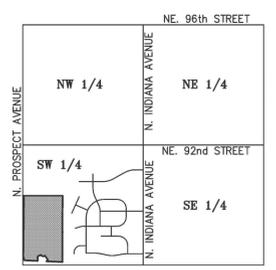
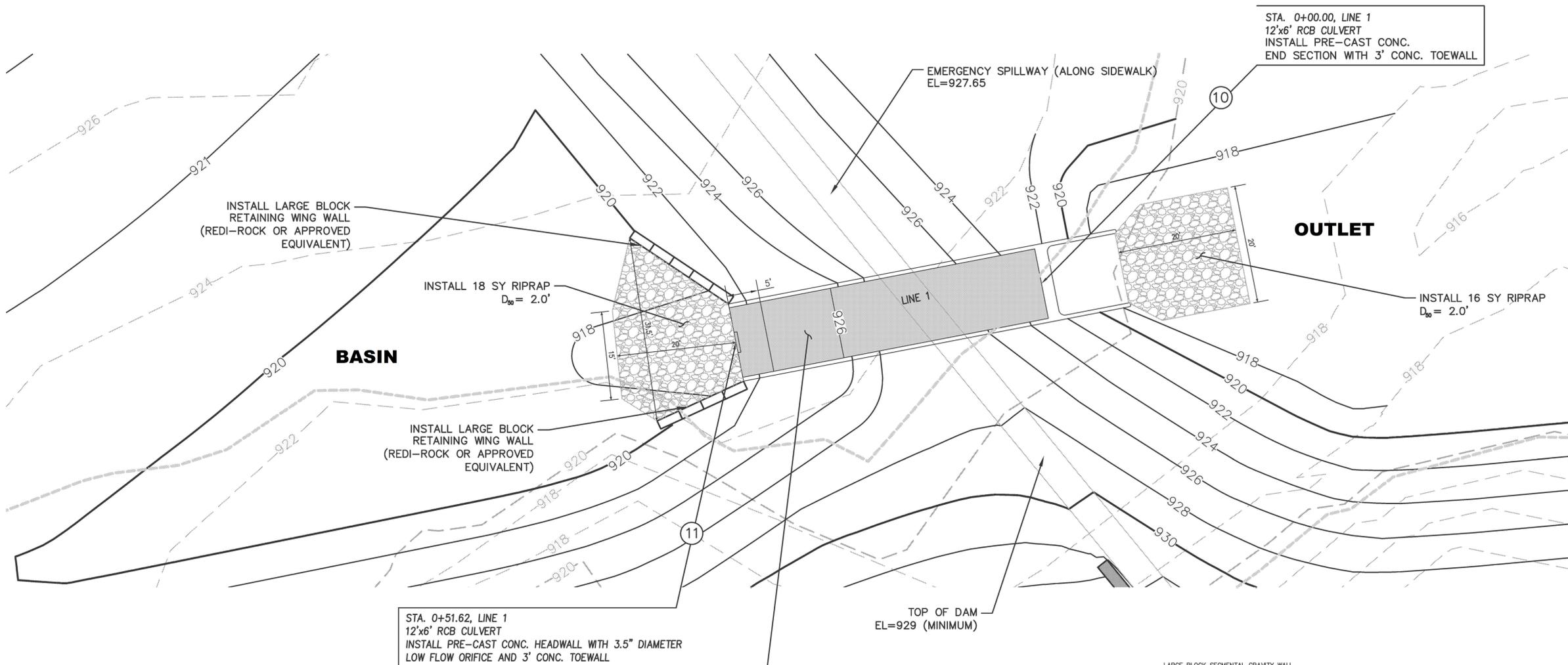
- 6) **EARTHWORK:**
- GEOTECHNICAL:** All earthwork shall conform to the recommendations of the Geotechnical report.
 - SURFACE WATER:** Surface water shall be intercepted and diverted during the placement of fill.
 - FILLS:** All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris.
 - EXISTING SLOPES:** Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer.
 - COMPACTION REQUIREMENTS:** Earth fill material shall be placed and compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM-D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall within a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- 8) **SEEDING AND SODDING:**
All areas in right-of-way disturbed by earthwork operations shall be restored to good or better condition.

- GRADING NOTES:**
- ALL PUBLIC STORM SEWERS AND OPEN SPACES WILL BE IN A PUBLIC STORM SEWER EASEMENT.
 - MINIMUM LOW OPENING (MLO) FOR ALL STRUCTURES SHALL BE 938.5'.
- FLOOD NOTE:**
THE SUBJECT PROPERTY IS LOCATED IN "ZONE C", (AREAS OF MINIMAL FLOODING) ACCORDING TO THE CLAY COUNTY, MISSOURI FLOOD INSURANCE RATE MAP (FIRM), MAP NUMBER 290173 0045 B, MAP REVISED AUGUST 5, 1986.
- BENCHMARK:** VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING MDOOT VRS
- SET RAILROAD SPIKE IN NORTHWEST FACE OF POWER POLE AT THE SOUTHEAST CORNER OF LOT ON HIGH POWER LINE SOUTH POLE ELEVATION = 929.36
 - SET "C" CUT ON TOP CURB AT PARKING CORNER POWER POLE #20 MID JOB SOUTH ELEVATION = 933.90
 - SET RAILROAD SPIKE IN WEST FACE OF POWER POLE JUST NORTH OF HIGH POWER LINE AT SOUTHWEST CORNER OF JOB ELEVATION = 952.83
 - SET RAILROAD SPIKE IN EAST FACE OF POWER POLE EAST OF HOUSE #8910 // POWER POLE # KPL 281124 ELEVATION = 975.13
 - SET RAILROAD SPIKE IN EAST FACE OF POWER POLE AT AT PROPERTY CORNER OF PROSPECT TURNING WEST ELEVATION = 976.62
 - SET "C" CUT ON SOUTHEAST CORNER OF CONCRETE TELEPHONE PAD NORTH GRAVEL DRIVE AT PROSPECT BEND TO WEST ELEVATION = 982.77

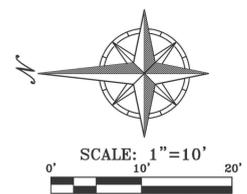
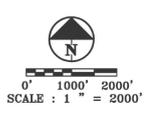


OVERALL GRADING PLAN

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SHEET 5 OF 7
DATED 3 MAY 2016



VICINITY MAP
SECTION 6-51-32



SCALE: 1"=10' HORIZ.
1"=10' VERT.

LARGE BLOCK SEGMENTAL GRAVITY WALL

Large Block Segmental Gravity Wall shall be provided for retaining wall systems on this project. This wall system shall be a pre-cast, interlocking concrete block system for use in gravity type retaining wall applications and have a textured concrete face. Finish shall be a natural as-cast concrete color. A bid alternate for color staining shall also be provided to the owner for selection. Due to space constraints, other segmental wall systems requiring the use of geogrids or other reinforced methods are not allowed. Installation of concrete block walls shall be done in accordance to the manufacturer's specifications. The following commercially available concrete block wall products will be acceptable:

1. "Redi-Rock" system as produced by a licensed manufacturer under Redi-Rock International
2. "ReCon Retaining Wall Systems" as available by Contech
3. Other approved equal as determined by the Owner.

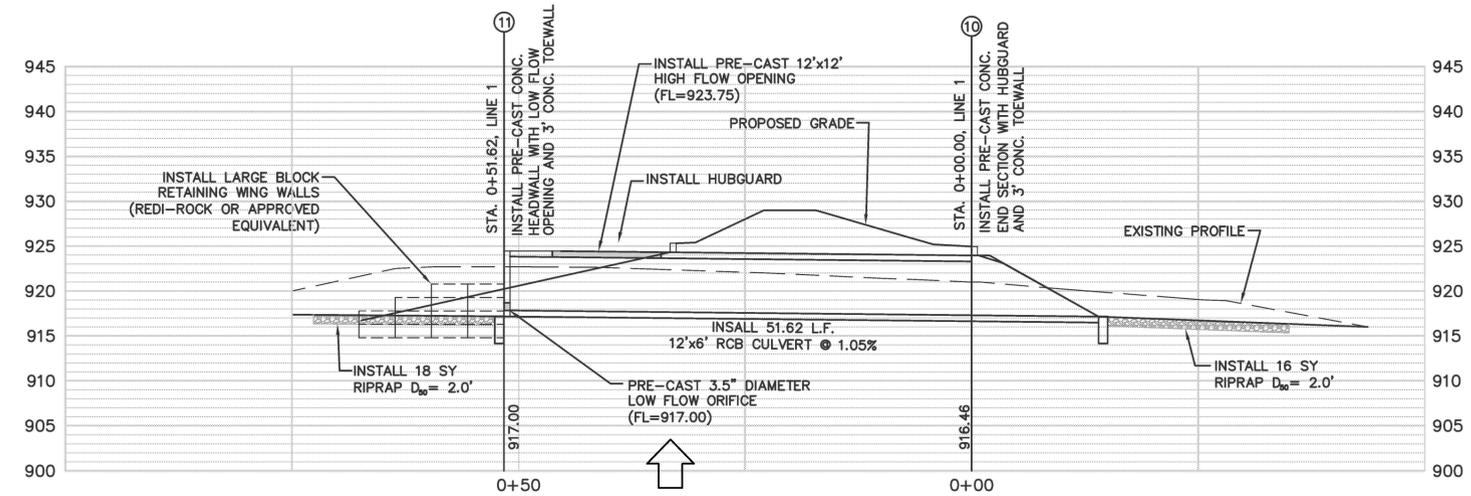
Any approved equals must be submitted in writing and approved by the Owner no later than two (2) working days prior to the bid opening.

Contractor shall submit the following to the Owner for approval:

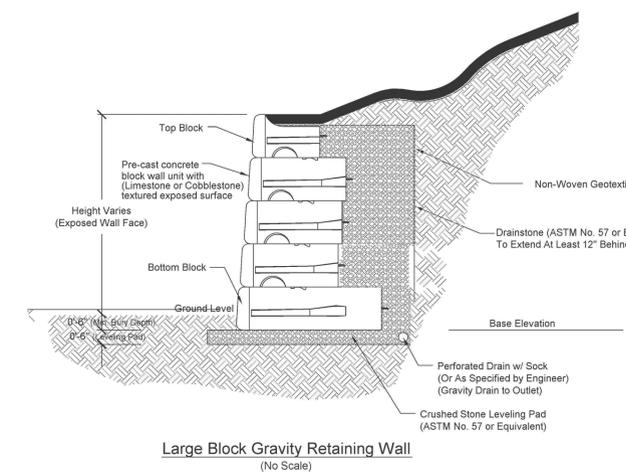
1. Manufacturer's product data and installation instructions.
2. Manufacturer's test reports and certifications of their product
3. Two sets of construction shop drawings prepared by a licensed engineer (Kansas) and design calculations based on NCM Design Guidelines for Segmental Walls, which shall include the following:
 - a) Wall layout and heights
 - b) Wall Sections
 - c) Drainage materials
 - d) Special installation instructions
 - e) Elevation (Profile) views
 - f) Design calculations and assumptions. Note: The design shall be based on a gravity wall system and global stability of the wall system must be analyzed as part of the submitted documents.

Quality Assurance: Contractor shall have successfully installed at least three large block segmental retaining wall projects within the past five years. Documentation of projects including owner contact information shall be provided to the City upon request.

LINE 1



NOTE DRAIN ELEVATION

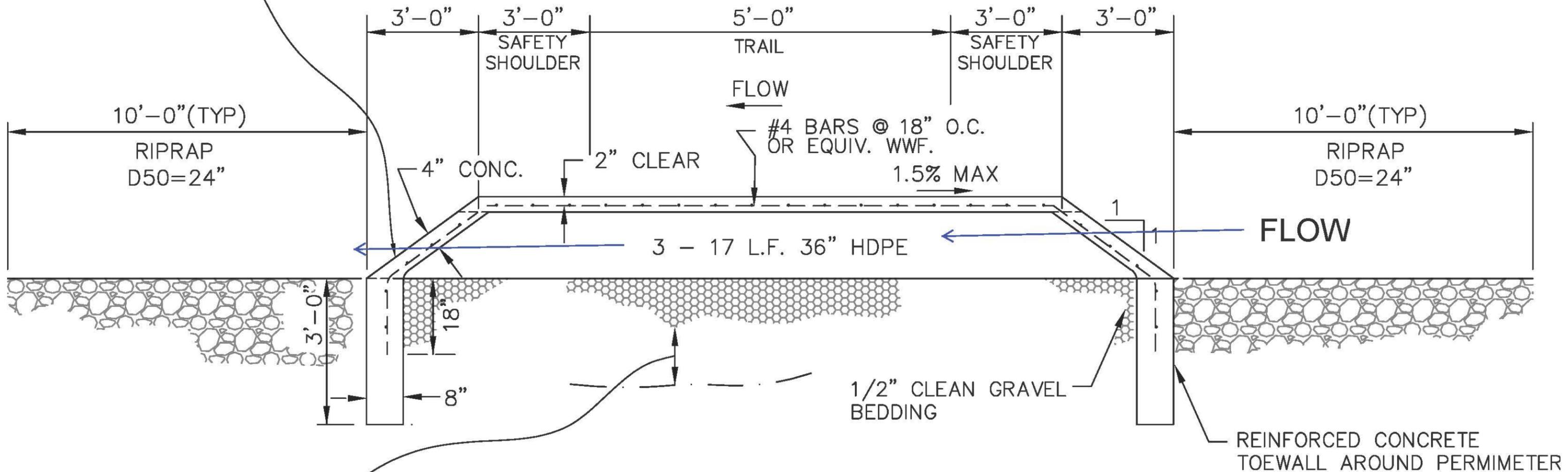


DETENTION SYSTEM OUTLET PLAN AND PROFILE

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CUT 36" HDPE EA. SIDE TO MATCH EDGE OF CONCRETE SLOPE.

NOTE TO CONTRACTOR:
 1. ASPHALT SURFACE MAY BE USED IN LIEU OF CONCRETE. ASPHALT SHALL MATCH TRAIL SPECIFICATIONS.



STREAM CROSSING BRIDGE
 NOT TO SCALE

EXPOSED GRADE SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D 698. MOISTURE CONTENT TO BE BETWEEN 0% TO 4% ABOVE OPTIMUM. ON-SITE TESTING LABORATORY TO VERIFY THAT EXPOSED GRADE IS CAPABLE OF SUPPORTING 2000 PSF (MIN.) OVEREXCAVATE ANY UNSUITABLE SOILS (IF ENCOUNTERED) AS DIRECTED BY ENGINEER AND BACKFILL WITH 3" MINUS SHOT ROCK.

PRELIMINARY — NOT FOR CONSTRUCTION

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